

FIRST AMENDMENT TO MASTER DEED

This First Amendment to Master Deed is made on November 11, 1994, by Carriage Park Condominiums Partnership, a Michigan co-partnership, 2864 Carpenter Road, Suite 300, Ann Arbor, Michigan ("Developer").

Liber 27776, Pages 441 thru 445

RECITALS:

- A. Developer has established Carriage Park, a residential condominium, by recording a Master Deed in Liber 25246, Pages 494-555, Wayne County Records (the "Master Deed").
- B. Developer did not declare in the Master the right to expand the Condominium, and now wishes to amend the Master Deed to provide for certain additional land which may be added to the condominium.
- C. Developer retained the right to, among other things, amend the Master Deed and the Condominium Bylaws (Exhibit B to the Master Deed) so long as the amendment does not materially alter the rights of co-owners or mortgagees, or with approval of at least 66 $\frac{2}{3}$ % of co-owners and mortgagees.
- D. The requisite number of co-owners and mortgagees have consented to this Amendment.

WHEREFORE, the Master Deed hereby is amended by adding thereto Article X as follows:

ARTICLE X EXPANSION OF CONDOMINIUM

Section 1. Area of Future Development. The Condominium Project established pursuant to the initial Master Deed and consisting of fifty-nine (59) Units is intended to be the first stage of an Expandable Condominium under the Act to contain in its entirety a maximum of eighty-seven (87) Units. Additional Units, if any, will be established upon all or some portion or portions of the land described in Exhibit A, attached (hereinafter referred to as "area of future development").

Section 2. Increase in Number of Units. Any other provisions of the Master Deed notwithstanding, the number of Units in the Project may, at the option of the Developer from time to time, within a period ending no later than six (6) years from the date of the Master Deed, be increased by the addition to this Condominium of all or any portion of the area of future development and the establishment of Units thereon. The location, nature, appearance, design (interior and exterior) and structural components of the dwellings and other improvements to be constructed within the area of future development shall be determined by Developer in its sole discretion subject only to approval by the Township of Canton, but all such improvements shall be reasonably compatible with the existing structures in the Project, as determined by Developer in its sole discretion. No Unit shall be created within the area of future development that is not restricted exclusively to residential use.

Section 3. Expansion Not Mandatory. Nothing herein contained shall in any way obligate Developer to enlarge the Condominium Project beyond the phase established by the Master Deed and Developer may, in its discretion, establish all or a portion of the area of future development as a separate condominium project (or projects) or any other form of development. There are no restrictions on the election of the Developer to expand the Project other than as explicitly set forth herein. There is no obligation on the part of the Developer to add to the Condominium Project all or any portion of the area of future development described in this Article nor is there any obligation to add portions thereof in any particular order or to construct particular improvements thereon in any specific locations.

Section 4. Amendment of Master Deed and Modification of Percentages of Value. Such increase in size of this Condominium Project shall be given effect by an appropriate amendment or amendments to the Master Deed in the manner provided by law, which amendment or amendments shall be prepared by and at the discretion of the Developer and in which the percentages of value set forth herein shall be proportionately readjusted in order to preserve a total value of 100% for the entire Project resulting from such amendment or amendments to the Master Deed. The precise determination of the readjustments in percentages of value shall be made within the sole judgment of Developer. Such readjustments, however, shall reflect a continuing reasonable relationship among percentages of value based upon the original method of determining percentages of value for the Project.

Section 5. Redefinition of Common Elements. Such amendment or amendments to the Master Deed shall also contain such further definitions and redefinitions of General or Limited Common Elements as may be necessary to adequately describe, serve and provide access to the additional parcel or parcels being added to the Project by such amendment. In connection with any such amendment(s), Developer shall have the right to change the nature of any Common Element previously included in the Project for any purpose reasonably necessary to achieve the purposes of this Article, including, but not limited to, the connection of roadways and sidewalks in the Project to any roadways and sidewalks that may be located on, or planned for the area of future development, and to provide access to any Unit that is located on, or planned for the area of future development from the roadways and sidewalks located in the Project.

Section 6. Consent of Interested Persons. All of the Co-owners and mortgagees of Units and other persons interested or to become interested in the Project from time to time shall be deemed to have irrevocably and unanimously consented to such amendment or amendments to the Master Deed to effectuate the purpose and intent of this Article and to any proportionate reallocation of percentages of value of existing Units which Developer may determine necessary in conjunction with such amendment or amendments. All such interested persons irrevocably appoint Developer as agent and attorney for the purpose of execution of such amendment or amendments to the Master Deed and all other documents necessary to effectuate the foregoing. Such amendment may be effected without the necessity of recording the entire Master Deed or the Exhibits hereto and may incorporate by reference all or any pertinent portions of this Master Deed and the Exhibits hereto.

Except as amended hereby, the Master Deed shall remain in full force and effect.

WITNESSES:

CARRIAGE PARK CONDOMINIUMS PARTNERSHIP,
a Michigan co-partnership

By: GUENTHER BUILDING CO.,
a Michigan corporation

By: [Signature]
Robert F. Guenther
Its: President

[Signature]
Todd W. Co. 38145

[Signature]
FRANCES A. GURDUA

And By:

SLAVIK, TURNER, O'KEEFE DEVELOPMENT CORP.
a Michigan corporation

By: [Signature]
Its: Vice President

[Signature]
DAVID W. JONES
[Signature]
John H. Groust

- (iii) The enclosure shall be built of the same material and shall be the same color as the standard privacy fence in the Condominium.
- (iv) Plans for each enclosure must be submitted to the Board for approval prior to commencement of construction.
- (v) The cost of relocating sprinkler heads and water lines shall be borne by the co-owner desiring to enclose the patio area.

7. Anything in the Master Deed or the Condominium Bylaws to the contrary notwithstanding, co-owners may install front screen doors only of the following type: Single lite 36"x80", manufactured by Fox Aluminum, colored "Sandal."

8. The following is added as Section 18, Article VI of the Condominium Bylaws:

"Section 18. No outdoor hot tubs on any general or limited common element are permitted. This restriction shall not apply to Unit 19 (45189 Horseshoe Circle), subject to the following conditions:

- (i) The hot tub shall be located completely within the limited common element appurtenant to that unit.
- (ii) A privacy fence shall be erected by the co-owner which completely encloses the limited common element area, which fence shall comply with the terms of the Master Deed and Bylaws, as amended.
- (iii) Hot tub installation shall be by a licensed installer, consistent with local code and other requirements.
- (iv) The co-owner shall obtain any required permits and licenses.
- (v) A plan describing the proposed hot tub and its location shall be submitted to the Board for approval prior to installation.
- (vi) This exception shall expire upon the sale, transfer or other conveyance of Unit 19 by Deanna Fuller, and the hot tub shall be removed at that time."

STATE OF MICHIGAN)
) SS.
COUNTY OF)

The foregoing instrument was acknowledged before me this 15th day of December, 1994, by Robert F. Guenther, President of Guenther Building Co., a Michigan corporation, on behalf of said Corporation as a partner of Carriage Park Condominiums Partnership.

Frances A. Corona
Notary Public, Washtenaw County, Michigan
My commission expires:

FRANCES A CORONA
NOTARY PUBLIC STATE OF MICHIGAN
WASHTENAW COUNTY
MY COMMISSION EXP. SEPT 17, 1996

STATE OF MICHIGAN)
) SS.
COUNTY OF)

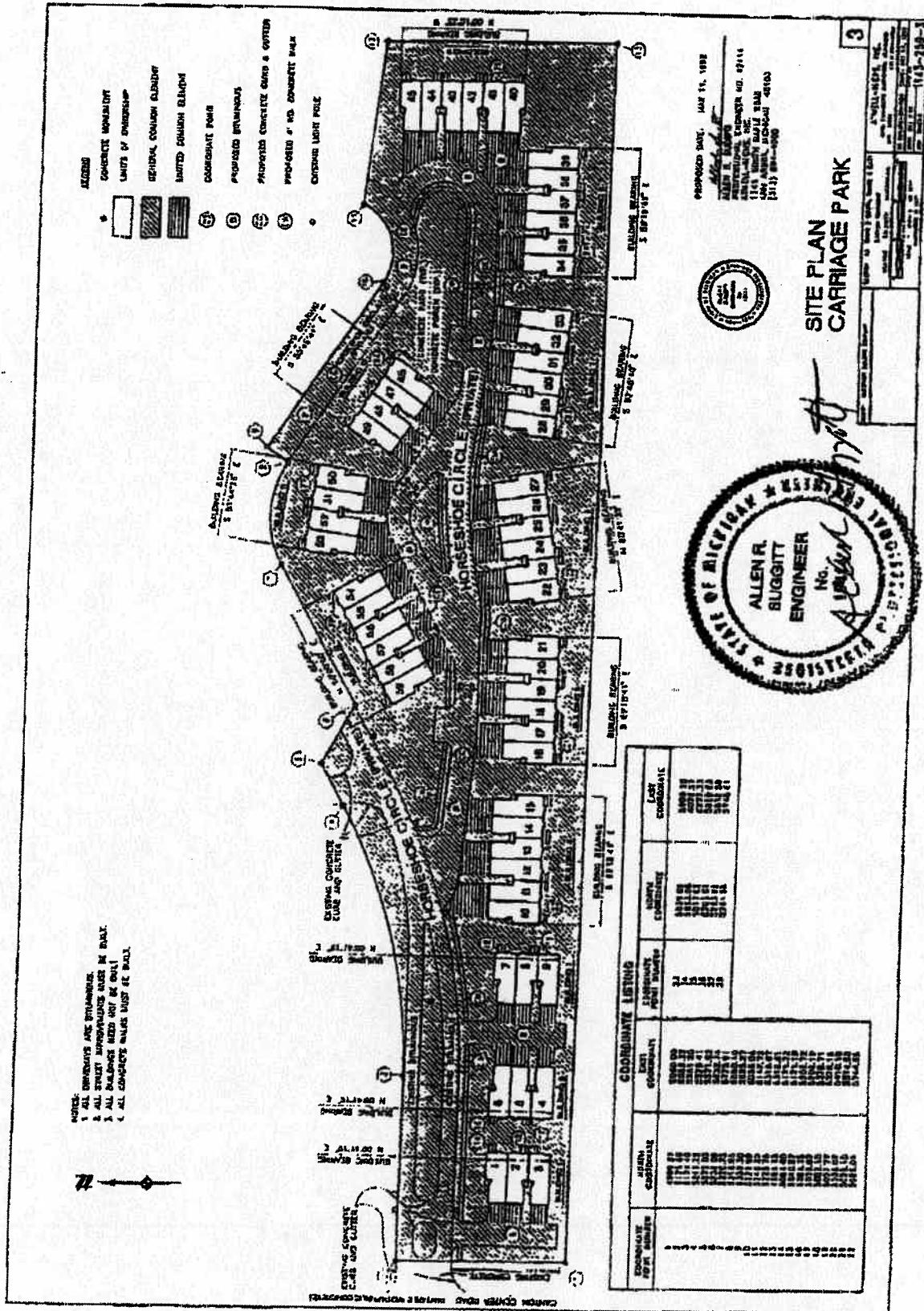
The foregoing instrument was acknowledged before me this 11 day of November, 1994, by Peter M. O'Keefe ^{11th President} of Slavik, Turner, O'Keefe Development Corp., a Michigan corporation, on behalf of said Corporation, as partner of Carriage Park Condominiums Partnership.

Toni Potts Oakland
Notary Public, Oakland County, Michigan
My commission expires: 11/4/98

TONI POTTS
NOTARY PUBLIC - OAKLAND COUNTY, MI
MY COMMISSION EXPIRES 11/4/98

DRAFTED BY AND WHEN
RECORDED RETURN TO:

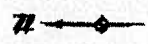
David W. Hipp
Bodman, Longley & Dahling
34th Floor
100 Renaissance Center
Detroit, MI 48243



- LEGEND**
- CONCRETE MONUMENT
 - LIMITS OF IMPROVEMENT
 - SEMI-CIRCULAR CONTOUR BOUNDARY
 - LIMITED FORMATION BOUNDARY
 - CONCRETE PAVING
 - PROPOSED DRIVEWAYS
 - PROPOSED CONCRETE DRIVE & OPTION
 - PROPOSED # 40 CONCRETE PAVE
 - CONCRETE LIGHT POLE

NOTES:

1. ALL DRIVEWAYS ARE 12' WIDE.
2. ALL DRIVEWAYS ARE 12' WIDE.
3. ALL DRIVEWAYS ARE 12' WIDE.
4. ALL CONCRETE SHALL BE 4000 PSI.



| COORDINATE LISTING | DATE | REVISION | BY | CHKD |
|--------------------|----------|----------|----|------|
| | 11/11/04 | | AL | AL |
| | 11/11/04 | | AL | AL |
| | 11/11/04 | | AL | AL |

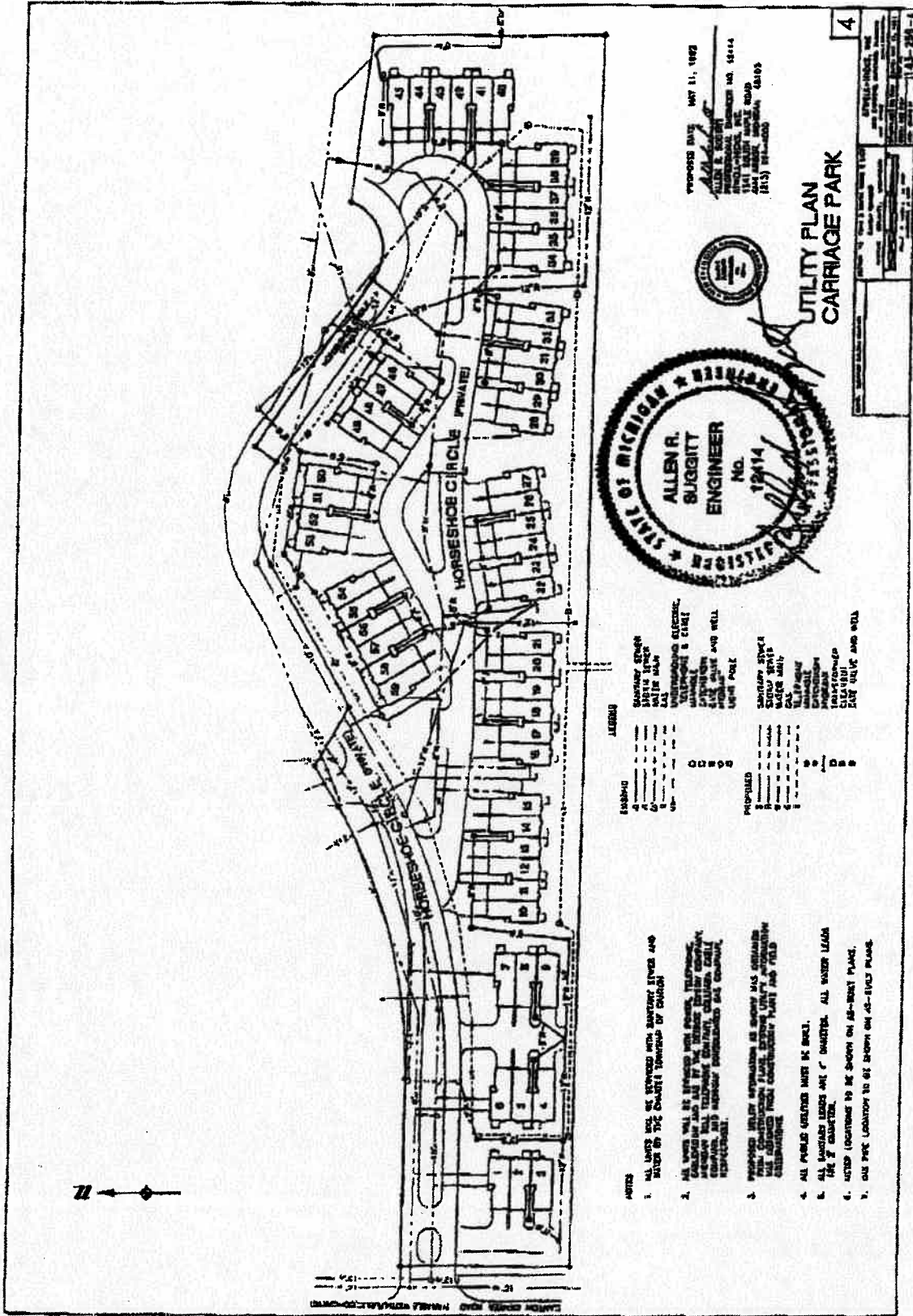


PROPOSED DATE: JULY 11, 1998
 ALLEN R. BLUGGITT
 PROFESSIONAL ENGINEER NO. 02111
 1145 W. WASHINGTON ST.
 ANN ARBOR, MICHIGAN 48106
 (313) 961-4900

**SITE PLAN
 CARRIAGE PARK**

ALLEN R. BLUGGITT
 ENGINEER
 No. 02111

| | |
|---------------------|-----------------|
| DATE: 11/11/04 | SCALE: 1" = 20' |
| DRAWN BY: AL | CHECKED BY: AL |
| PROJECT NO.: 04-001 | SHEET NO.: 3 |



- NOTES**
1. ALL UTILS ARE TO BE INSTALLED WITH EXISTING STREETS AND ALONG THE CURB LINES UNLESS OTHERWISE NOTED.
 2. ALL UTILS WILL BE INSTALLED IN THE PUBLIC RIGHT-OF-WAY. THE PUBLIC RIGHT-OF-WAY BOUNDARIES ARE SHOWN BY THE DOTTED LINE. ALL UTILS SHALL BE INSTALLED IN ACCORDANCE WITH THE CITY OF ANN ARBOR UTILITIES DEPARTMENT REGULATIONS AND ANY APPLICABLE ORDINANCES.
 3. PROPOSED UTILITY LOCATIONS ARE SHOWN AS DASHED LINES. EXISTING UTILITY LOCATIONS ARE SHOWN AS SOLID LINES. ALL UTILITY LOCATIONS SHALL BE SHOWN ON AN AS-BUILT PLAN.
 4. ALL PUBLIC UTILITIES MUST BE DEEPER.
 5. ALL EXISTING UTILITIES ARE TO BE MAINTAINED. ALL NEW UTILITIES SHALL BE INSTALLED IN ACCORDANCE WITH THE CITY OF ANN ARBOR UTILITIES DEPARTMENT REGULATIONS AND ANY APPLICABLE ORDINANCES.
 6. UTILITY LOCATIONS TO BE SHOWN ON AN AS-BUILT PLAN.
 7. ONE PUC LOCATION TO BE SHOWN ON AN AS-BUILT PLAN.

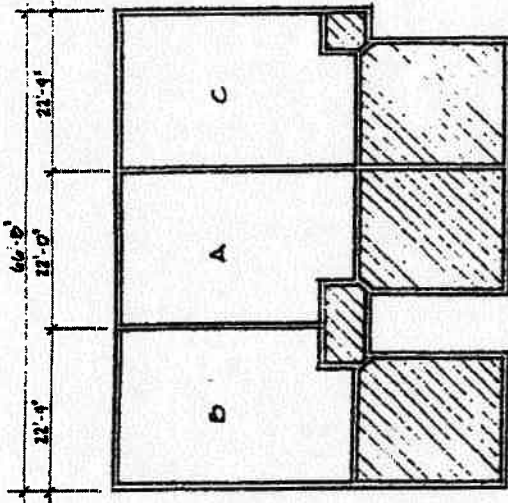
- LEGEND**
- EXISTING**
- Secondary Street
 - Water Main
 - Gas
 - Storm Sewer
 - Sewer
 - Electric
 - Telephone
 - Cable TV
 - Light Pole
- PROPOSED**
- Secondary Street
 - Water Main
 - Gas
 - Storm Sewer
 - Sewer
 - Electric
 - Telephone
 - Cable TV
 - Light Pole



PROPOSED DATE: MAY 11, 1992
 ALLEN R. BLIGGITT
 REGISTERED PROFESSIONAL ENGINEER NO. 19414
 1541 WALKER HILLS ROAD
 ANN ARBOR, MICHIGAN 48105
 (313) 961-1000

**UTILITY PLAN
 CARRIAGE PARK**

| | | |
|---|------------------|--------------------|
| 4 | DATE: 10/21/04 | SCALE: AS SHOWN |
| | DRAWN BY: [Name] | CHECKED BY: [Name] |
| | DATE: 10/21/04 | SCALE: AS SHOWN |



BASEMENT PLAN - BUILDING TYPE 1

A UNIT AREA 2138.78 SF
 B UNIT AREA 2360.86 SF
 C UNIT AREA 2270.58 SF



SCALE : 1/8" = 1'-0"

PROPOSED - DATED : 3 JANUARY 1982

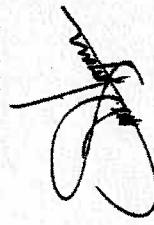
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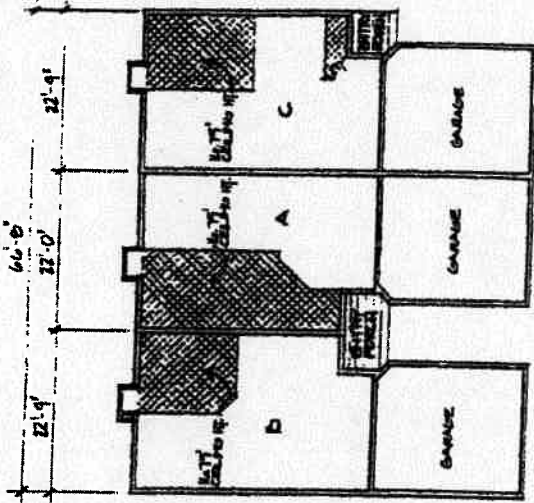
- GENERAL COMMON ELEMENT
- LIMITED COMMON ELEMENT
- LIMITS OF OWNERSHIP
- CEILINGS OTHER THAN 8.00' IN HEIGHT

NOTES

1. ALL OWNERSHIP LINES ARE AT 90 TO EACH OTHER
2. ALL FLOOR AREAS SHOWN ARE CALCULATED USING INTERIOR DIMENSIONS
3. REFER TO SHEET 5 FOR BASEMENT PLAN OF BUILDING TYPE 1
4. REFER TO SHEET 6 FOR FIRST FLOOR PLAN OF BUILDING TYPE 1
5. REFER TO SHEET 7 FOR SECOND FLOOR PLAN OF BUILDING TYPE 1
6. REFER TO SHEET 8 FOR TYPICAL CROSS SECTION OF BUILDING TYPE 1
7. REFER TO SITE PLAN FOR ALL SIDEWALK LOCATIONS

CARRIAGE PAR
 CONDOMINIUMS





A UNIT AREA 2138.76 SF
 B UNIT AREA 2380.66 SF
 C UNIT AREA 2270.66 SF

FIRST FLOOR PLAN - BUILDING TYPE 1



SCALE : 1/8" = 1'-0"

PROPOSED - DATED : 3 JANUARY 1982

LEGEND

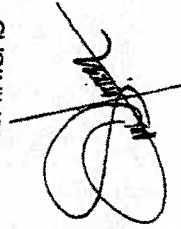


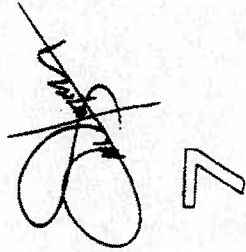
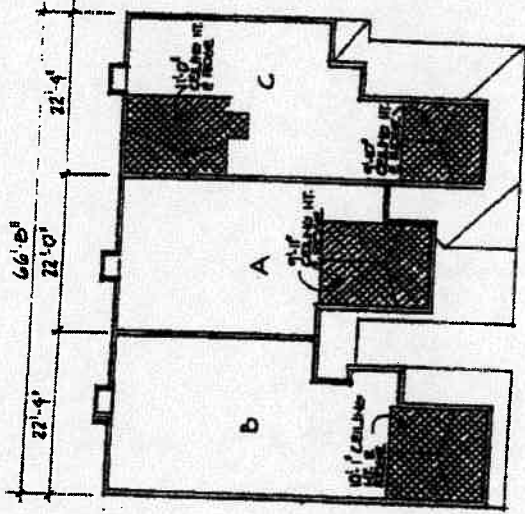
GENERAL COMMON ELEMENT
 LIMITED COMMON ELEMENT
 LIMITS OF OWNERSHIP
 CEILINGS OTHER THAN 8.00' IN HEIGHT

NOTES

1. ALL OWNERSHIP LINES ARE AT 90 TO EACH OTHER
2. ALL FLOOR AREAS SHOWN ARE CALCULATED USING INTERIOR DIMENSIONS
3. REFER TO SHEET 5 FOR BASEMENT PLAN OF BUILDING TYPE 1
4. REFER TO SHEET 6 FOR FIRST FLOOR PLAN OF BUILDING TYPE 2
5. REFER TO SHEET 7 FOR SECOND FLOOR PLAN OF BUILDING TYPE 2
6. REFER TO SHEET 8 FOR TYPICAL CROSS SECTION OF BUILDING TYPE 2
7. REFER TO SITE PLAN FOR ALL SIDEWALK LOCATIONS

CARRIAGE PARK
 CONDOMINIUMS



A UNIT AREA 2138.78 SF
 B UNIT AREA 2360.66 SF
 C UNIT AREA 2270.68 SF

SECOND FLOOR PLAN - BUILDING TYPE 2



SCALE : 1/8" = 1'-0"

PROPOSED - DATED : 3 JANUARY 1992

LEGEND

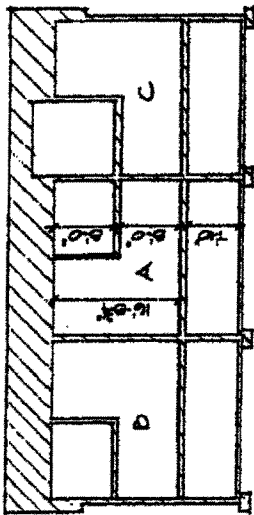


GENERAL COMMON ELEMENT
 LIMITED COMMON ELEMENT
 LIMITS OF OWNERSHIP

CEILING OTHER THAN 8.00' IN HEIGHT

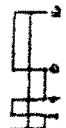
NOTES

1. ALL OWNERSHIP LINES ARE AT 90 TO EACH OTHER
2. ALL FLOOR AREAS SHOWN ARE CALCULATED USING INTERIOR DIMENSIONS
3. REFER TO SHEET 5 FOR BASEMENT PLAN OF BUILDING TYPE 2
4. REFER TO SHEET 6 FOR FIRST FLOOR PLAN OF BUILDING TYPE 2
5. REFER TO SHEET 7 FOR SECOND FLOOR PLAN OF BUILDING TYPE 2
6. REFER TO SHEET 8 FOR TYPICAL CROSS SECTION OF BUILDING TYPE 2
7. REFER TO SITE PLAN FOR ALL SIDEWALK LOCATIONS



A UNIT AREA 2138.78 SF
B UNIT AREA 2360.66 SF
C UNIT AREA 2270.58 SF

SECTION - BUILDING TYPE 2



SCALE : 1/8" = 1'-0"
PROPOSED - DATED : 3 JANUARY 1992

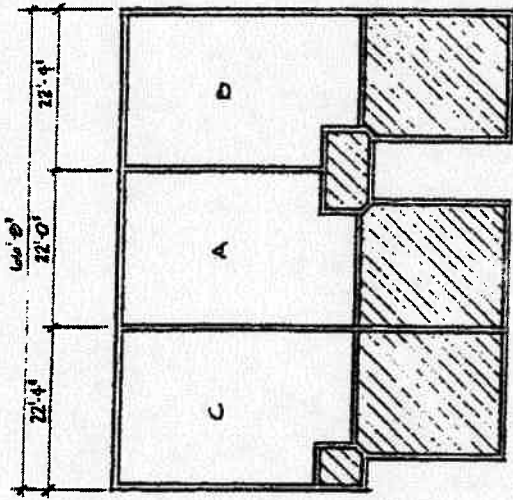
LEGEND



GENERAL COMMON ELEMENT
LIMITED COMMON ELEMENT
LIMITS OF OWNERSHIP
CEILINGS OTHER THAN 8.00' IN HEIGHT

NOTES

1. ALL OWNERSHIP LINES ARE AT 90 TO EACH OTHER
2. ALL FLOOR AREAS SHOWN ARE CALCULATED USING INTERIOR DIMENSIONS
3. REFER TO SHEET 5 FOR BASEMENT PLAN OF BUILDING TYPE 2
4. REFER TO SHEET 6 FOR FIRST FLOOR PLAN OF BUILDING TYPE 2
5. REFER TO SHEET 7 FOR SECOND FLOOR PLAN OF BUILDING TYPE 2
6. REFER TO SHEET 8 FOR TYPICAL CROSS SECTION OF BUILDING TYPE 2
7. REFER TO SITE PLAN FOR ALL SIDEWALK LOCATIONS



BASEMENT PLAN - BUILDING TYPE 143



SCALE : 1/8" = 1'-0"

PROPOSED - DATED : 3 JANUARY 1992

LEGEND

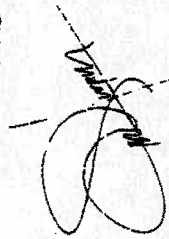
- GENERAL COMMON ELEMENT
- LIMITED COMMON ELEMENT
- LIMITS OF OWNERSHIP
- CEILINGS OTHER THAN 8.00' IN HEIGHT

A UNIT AREA 2138.78 SF
 B UNIT AREA 2360.66 SF
 C UNIT AREA 2270.66 SF

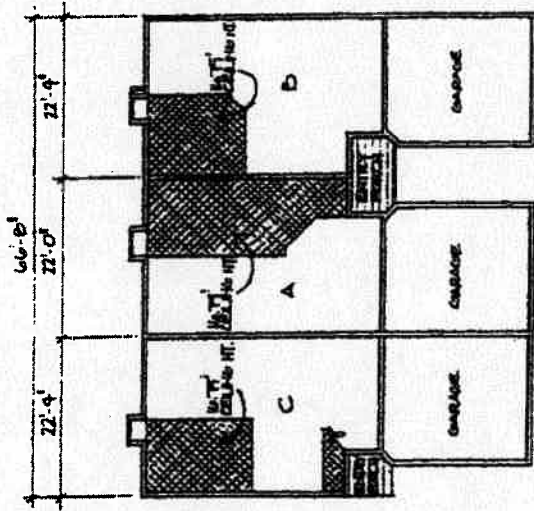
NOTES

1. ALL OWNERSHIP LINES ARE AT 90 TO EACH OTHER
2. ALL FLOOR AREAS SHOWN ARE CALCULATED USING INTERIOR DIMENSIONS
3. REFER TO SHEET 9 FOR BASEMENT PLAN OF BUILDING TYPE 143
4. REFER TO SHEET 10 FOR FIRST FLOOR PLAN OF BUILDING TYPE 143
5. REFER TO SHEET 11 FOR SECOND FLOOR PLAN OF BUILDING TYPE 143
6. REFER TO SHEET 12 FOR TYPICAL CROSS SECTION OF BUILDING TYPE 143
7. REFER TO SITE PLAN FOR ALL SIDEWALK LOCATIONS

CARRIAGE PAR
 CONDOMINIUMS

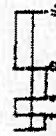


9



A UNIT AREA 2138.78 SF
 B UNIT AREA 2380.96 SF
 C UNIT AREA 2270.58 SF

FIRST FLOOR PLAN - BUILDING TYPE 1 + 2



SCALE : 1/8" = 1'-0"

PROPOSED - DATED : 3 JANUARY 1992

LEGEND

- GENERAL COMMON ELEMENT
- LIMITED COMMON ELEMENT
- LIMITS OF OWNERSHIP
- CEILINGS OTHER THAN 8.00' IN HEIGHT

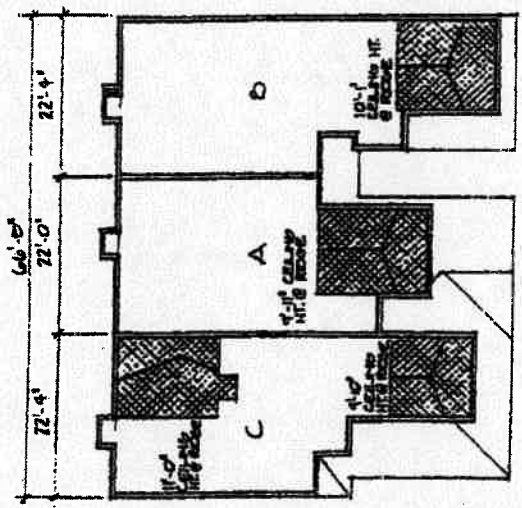
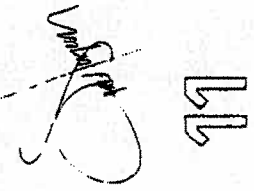
NOTES

1. ALL OWNERSHIP LINES ARE AT 90 TO EACH OTHER
2. ALL FLOOR AREAS SHOWN ARE CALCULATED USING INTERIOR DIMENSIONS
3. REFER TO SHEET 9 FOR BASEMENT PLAN OF BUILDING TYPE 1 + 2
4. REFER TO SHEET 10 FOR FIRST FLOOR PLAN OF BUILDING TYPE 1 + 2
5. REFER TO SHEET 11 FOR SECOND FLOOR PLAN OF BUILDING TYPE 1 + 2
6. REFER TO SHEET 12 FOR TYPICAL CROSS SECTION OF BUILDING TYPE 1 + 2
7. REFER TO SITE PLAN FOR ALL SIDEWALK LOCATIONS

CARRIAGE PART
 CONDOMINIUMS

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10



SECOND FLOOR PLAN - BUILDING TYPE 1 + 2

A UNIT AREA 2138.78 SF
B UNIT AREA 2360.88 SF
C UNIT AREA 2270.88 SF

SCALE : 1/8" = 1'-0"

PROPOSED - DATED : 3 JANUARY 1982

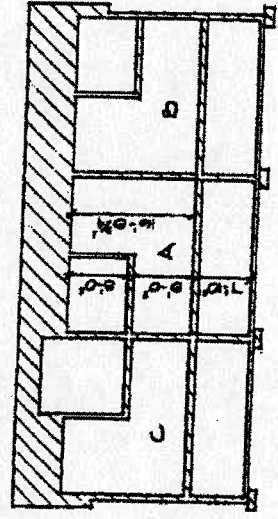
NOTES

1. ALL OWNERSHIP LINES ARE AT 90 TO EACH OTHER
2. ALL FLOOR AREAS SHOWN ARE CALCULATED USING INTERIOR DIMENSIONS
3. REFER TO SHEET 9 FOR BASEMENT PLAN OF BUILDING TYPE 1 + 2
4. REFER TO SHEET 10 FOR FIRST FLOOR PLAN OF BUILDING TYPE 1 + 2
5. REFER TO SHEET 11 FOR SECOND FLOOR PLAN OF BUILDING TYPE 1 + 2
6. REFER TO SHEET 12 FOR TYPICAL CROSS SECTION OF BUILDING TYPE 1 + 2
7. REFER TO SITE PLAN FOR ALL SIDEWALK LOCATIONS

LEGEND

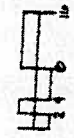
- GENERAL COMMON ELEMENT
- LIMITED COMMON ELEMENT
- LIMITS OF OWNERSHIP
- CEILINGS OTHER THAN 8.00' IN HEIGHT

12



A UNIT AREA 2138.78 SF
B UNIT AREA 2380.58 SF
C UNIT AREA 2270.58 SF

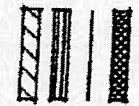
SECTION - BUILDING TYPE 1-1-2



SCALE : 1/8" = 1'-0"

PROPOSED - DATED : 3 JANUARY 1992

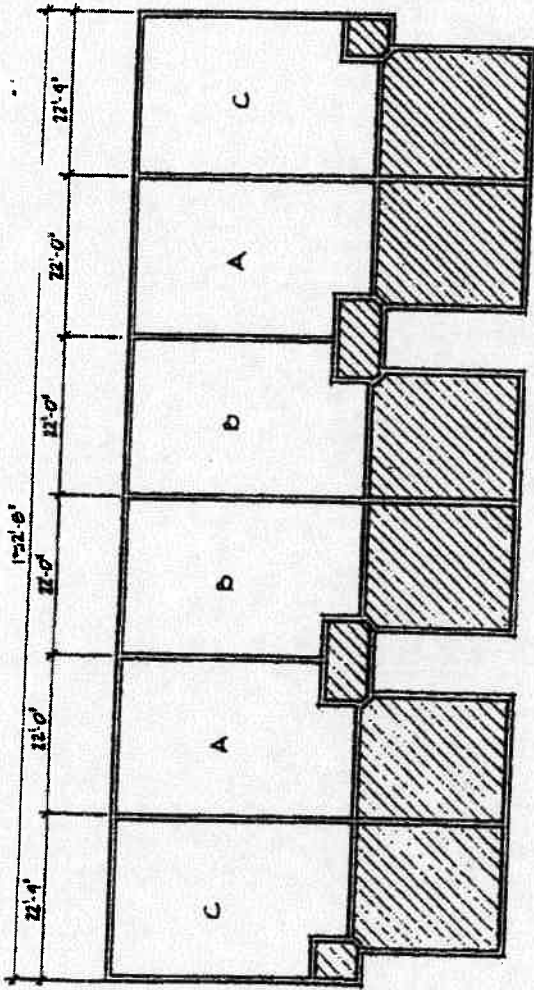
LEGEND



GENERAL COMMON ELEMENT
LIMITED COMMON ELEMENT
LIMITS OF OWNERSHIP
CEILINGS OTHER THAN 8.00' IN HEIGHT

NOTES

1. ALL OWNERSHIP LINES ARE AT 90 TO EACH OTHER
2. ALL FLOOR AREAS SHOWN ARE CALCULATED USING INTERIOR DIMENSIONS
3. REFER TO SHEET 9 FOR BASEMENT PLAN OF BUILDING TYPE 1-1-2
4. REFER TO SHEET 10 FOR FIRST FLOOR PLAN OF BUILDING TYPE 1-1-2
5. REFER TO SHEET 11 FOR SECOND FLOOR PLAN OF BUILDING TYPE 1-1-2
6. REFER TO SHEET 12 FOR TYPICAL CROSS SECTION OF BUILDING TYPE 1-1-2
7. REFER TO SITE PLAN FOR ALL SIDEWALK LOCATIONS


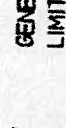
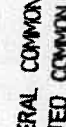
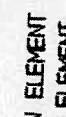


A UNIT AREA 2138.78 SF
 B UNIT AREA 2380.88 SF
 C UNIT AREA 2270.58 SF

BASEMENT PLAN - BUILDING TYPE 4, 5, 6, 7, 8, 9, 12

SCALE : 1/8" = 1'-0"

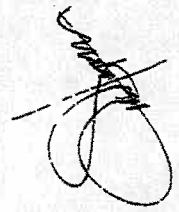
PROPOSED - DATED : 3 JANUARY 1992

- LEGEND
-  GENERAL COMMON ELEMENT
 -  LIMITED COMMON ELEMENT
 -  LIMITS OF OWNERSHIP
 -  CEILING OTHER THAN 8.00' IN HEIGHT

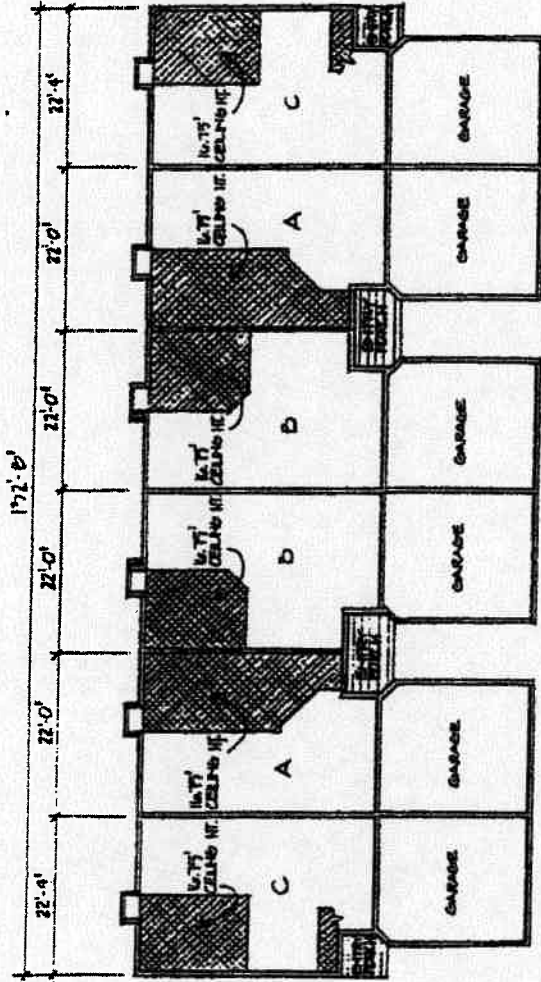
NOTES

1. ALL OWNERSHIP LINES ARE 90° TO EACH OTHER
2. ALL FLOOR AREAS SHOWN ARE CALCULATED USING INTERIOR DIMENSIONS
3. REFER TO SHEET 13 FOR BASEMENT PLAN OF BUILDING TYPE 4, 5, 6, 7, 8, 9, 12
4. REFER TO SHEET 14 FOR FIRST FLOOR PLAN OF BUILDING TYPE 4, 5, 6, 7, 8, 9, 12
5. REFER TO SHEET 15 FOR SECOND FLOOR PLAN OF BUILDING TYPE 4, 5, 6, 7, 8, 9, 12
6. REFER TO SHEET 16 FOR TYPICAL CROSS SECTION OF BUILDING TYPE 4, 5, 6, 7, 8, 9, 12
7. REFER TO SITE PLAN FOR ALL SIDEWALK LOCATIONS

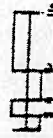
CARRIAGE PARI
 CONDOMINIUMS



13



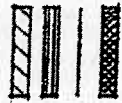
FIRST FLOOR PLAN - BUILDING TYPE 4, 5, 6, 7, 8, 9, 12



SCALE : 1/8" = 1'-0"

PROPOSED - DATED : 3 JANUARY 1982

LEGEND



GENERAL COMMON ELEMENT
LIMITED COMMON ELEMENT
LIMITS OF OWNERSHIP
CEILINGS OTHER THAN 8.00' IN HEIGHT

A UNIT AREA 2138.78 SF
B UNIT AREA 2360.86 SF
C UNIT AREA 2270.58 SF

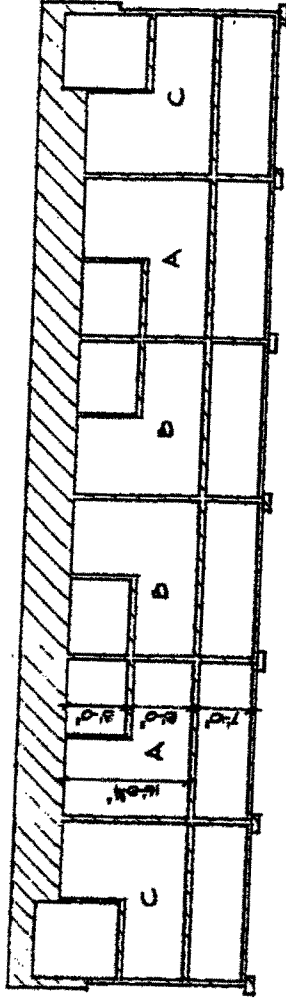
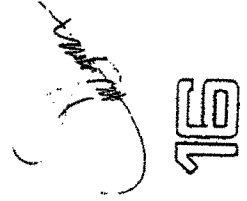
NOTES

1. ALL OWNERSHIP LINES ARE 90° TO EACH OTHER
2. ALL FLOOR AREAS SHOWN ARE CALCULATED USING INTERIOR DIMENSIONS
3. REFER TO SHEET 13 FOR BASEMENT PLAN OF BUILDING TYPE 4, 5, 6, 7, 8, 9, 12
4. REFER TO SHEET 14 FOR FIRST FLOOR PLAN OF BUILDING TYPE 4, 5, 6, 7, 8, 9, 12
5. REFER TO SHEET 15 FOR SECOND FLOOR PLAN OF BUILDING TYPE 4, 5, 6, 7, 8, 9, 12
6. REFER TO SHEET 16 FOR TYPICAL CROSS SECTION OF BUILDING TYPE 4, 5, 6, 7, 8, 9, 12
7. REFER TO SITE PLAN FOR ALL SIDEWALK LOCATIONS

CARRIAGE P
CONDOMINIUM



14



A UNIT AREA 2138.78 SF
B UNIT AREA 2360.58 SF
C UNIT AREA 2270.58 SF

SECTION - BUILDING TYPE 4, 5, 6, 7, 8, 9, 12



SCALE : 1/8" = 1'-0"

PROPOSED - DATED : 3 JANUARY 1992

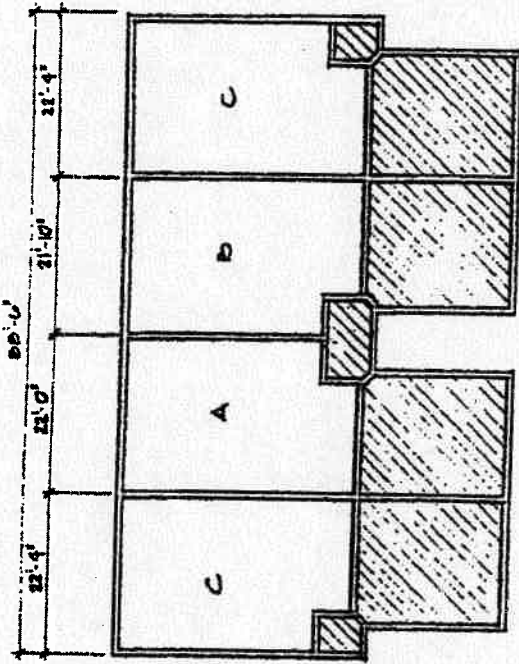
LEGEND



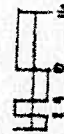
GENERAL COMMON ELEMENT
LIMITED COMMON ELEMENT
LIMITS OF OWNERSHIP
CEILINGS OTHER THAN 8.00' IN HEIGHT

NOTES

1. ALL OWNERSHIP LINES ARE 80' TO EACH OTHER
2. ALL FLOOR AREAS SHOWN ARE CALCULATED USING INTERIOR DIMENSIONS
3. REFER TO SHEET 13 FOR BASEMENT PLAN OF BUILDING TYPE 4, 5, 6, 7, 8, 9, 12
4. REFER TO SHEET 14 FOR FIRST FLOOR PLAN OF BUILDING TYPE 4, 5, 6, 7, 8, 9, 12
5. REFER TO SHEET 15 FOR SECOND FLOOR PLAN OF BUILDING TYPE 4, 5, 6, 7, 8, 9, 12
6. REFER TO SHEET 16 FOR TYPICAL CROSS SECTION OF BUILDING TYPE 4, 5, 6, 7, 8, 9, 12
7. REFER TO SITE PLAN FOR ALL SIDEWALK LOCATIONS







BASEMENT PLAN - BUILDING TYPE 10 + II



SCALE : 1/8" = 1'-0"

PROPOSED - DATED : 3 JANUARY 1992

LEGEND

-  GENERAL COMMON ELEMENT
-  LIMITED COMMON ELEMENT
-  LIMITS OF OWNERSHIP
-  CEILINGS OTHER THAN 8.00' IN HEIGHT

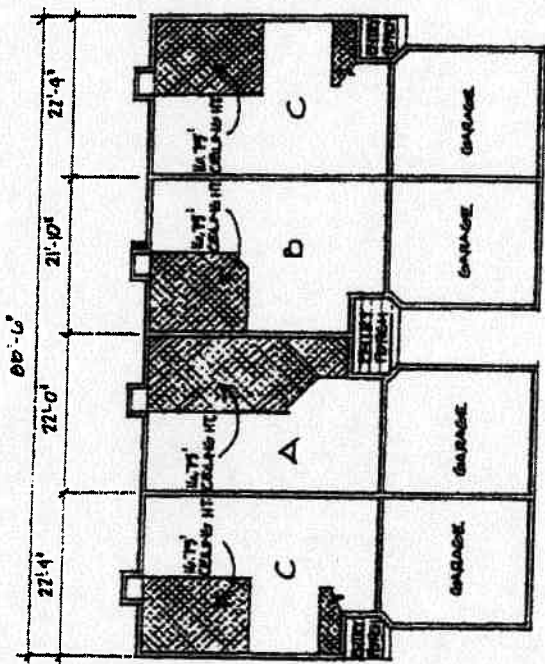
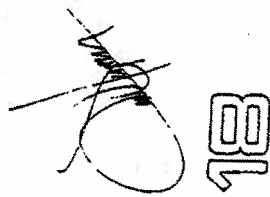
A UNIT AREA 2138.78 SF
 B UNIT AREA 2380.56 SF
 C UNIT AREA 2270.69 SF

NOTES

1. ALL OWNERSHIP LINES ARE AT 90° TO EACH OTHER
2. ALL FLOOR AREAS SHOWN ARE CALCULATED USING INTERIOR DIMENSIONS
3. REFER TO SHEET 17 FOR BASEMENT PLAN OF BUILDING TYPE 10 + II
4. REFER TO SHEET 18 FOR FIRST FLOOR PLAN OF BUILDING TYPE 10 + II
5. REFER TO SHEET 19 FOR SECOND FLOOR PLAN OF BUILDING TYPE 10 + II
6. REFER TO SHEET 20 FOR TYPICAL CROSS SECTION OF BUILDING TYPE 10 + II
7. REFER TO SITE PLAN FOR ALL SIDEWALK LOCATIONS

CARRIAGE PA
 CONDOMINIUM

[Handwritten Signature]
 17



A UNIT AREA 2138.78 SF
 B UNIT AREA 2360.86 SF
 C UNIT AREA 2270.88 SF

FIRST FLOOR PLAN - BUILDING TYPE 10



SCALE : 1/8" = 1'-0"

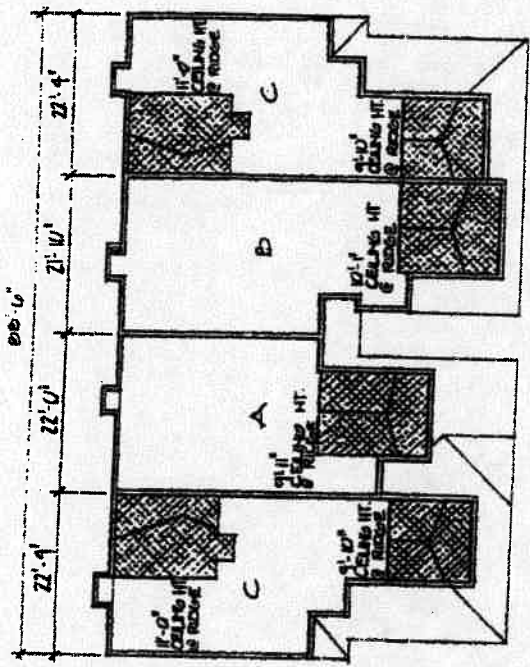
PROPOSED - DATED : 3 JANUARY 1992

LEGEND

- GENERAL COMMON ELEMENT
- LIMITED COMMON ELEMENT
- LIMITS OF OWNERSHIP
- CEILINGS OTHER THAN 8.00' IN HEIGHT

NOTES

1. ALL OWNERSHIP LINES ARE AT 90° TO EACH OTHER
2. ALL FLOOR AREAS SHOWN ARE CALCULATED USING INTERIOR DIMENSIONS
3. REFER TO SHEET 17 FOR BASEMENT PLAN OF BUILDING TYPE 10
4. REFER TO SHEET 18 FOR FIRST FLOOR PLAN OF BUILDING TYPE 10
5. REFER TO SHEET 19 FOR SECOND FLOOR PLAN OF BUILDING TYPE 10
6. REFER TO SHEET 20 FOR TYPICAL CROSS SECTION OF BUILDING TYPE 10
7. REFER TO SITE PLAN FOR ALL SIDEWALK LOCATIONS



A UNIT AREA 2138.78 SF
B UNIT AREA 2360.66 SF
C UNIT AREA 2270.88 SF

SECOND FLOOR PLAN - BUILDING TYPE 10

SCALE : 1/8" = 1'-0"

PROPOSED - DATED : 3 JANUARY 1982



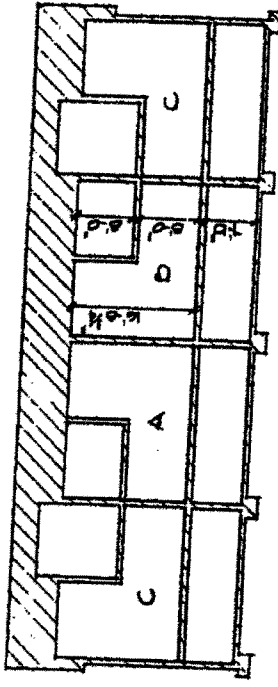
LEGEND

- GENERAL COMMON ELEMENT
- LIMITED COMMON ELEMENT
- LIMITS OF OWNERSHIP
- CEILINGS OTHER THAN 8.00' IN HEIGHT

NOTES

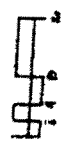
1. ALL OWNERSHIP LINES ARE AT 90° TO EACH OTHER
2. ALL FLOOR AREAS SHOWN ARE CALCULATED USING INTERIOR DIMENSIONS
3. REFER TO SHEET 17 FOR BASEMENT PLAN OF BUILDING TYPE 10
4. REFER TO SHEET 18 FOR FIRST FLOOR PLAN OF BUILDING TYPE 10
5. REFER TO SHEET 19 FOR SECOND FLOOR PLAN OF BUILDING TYPE 10
6. REFER TO SHEET 20 FOR TYPICAL CROSS SECTION OF BUILDING TYPE 10
7. REFER TO SITE PLAN FOR ALL SIDEWALK LOCATIONS

20



A UNIT AREA 2138.78 SF
B UNIT AREA 2360.66 SF
C UNIT AREA 2270.58 SF

SECTION - BUILDING TYPE 10 & 11



SCALE : 1/8" = 1'-0"

PROPOSED - DATED : 3 JANUARY 1992

LEGEND

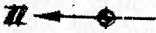
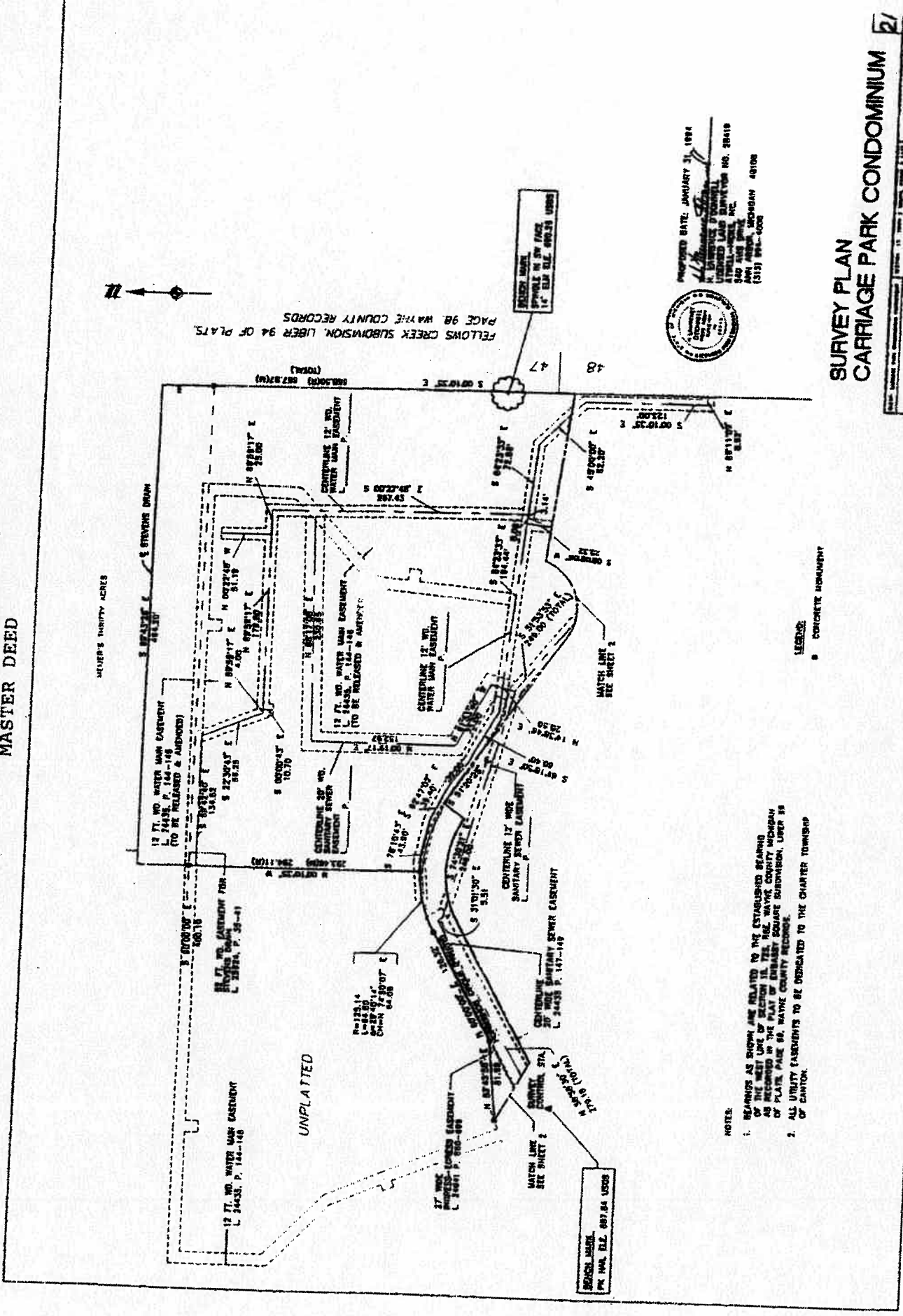


GENERAL COMMON ELEMENT
LIMITED COMMON ELEMENT
LIMITS OF OWNERSHIP
CEILINGS OTHER THAN 8.00' IN HEIGHT

NOTES

1. ALL OWNERSHIP LINES ARE AT 90° TO EACH OTHER
2. ALL FLOOR AREAS SHOWN ARE CALCULATED USING INTERIOR DIMENSIONS
3. REFER TO SHEET 17 FOR BASEMENT PLAN OF BUILDING TYPE 10 & 11
4. REFER TO SHEET 18 FOR FIRST FLOOR PLAN OF BUILDING TYPE 10 & 11
5. REFER TO SHEET 19 FOR SECOND FLOOR PLAN OF BUILDING TYPE 10 & 11
6. REFER TO SHEET 20 FOR TYPICAL CROSS SECTION OF BUILDING TYPE 10 & 11
7. REFER TO SITE PLAN FOR ALL SIDEWALK LOCATIONS

EXHIBIT A
 FIRST AMENDMENT
 CARRIAGE PARK CONDOMINIUMS
 MASTER DEED



FELLOWS CREEK SUBDIVISION, LIBER 94 OF PLATS.
 PAGE 9B, WAYNE COUNTY RECORDS

PROPOSED DATE: JANUARY 31, 1994
 K. DUNNICK & COMPANY
 SURVEYING & ENGINEERING
 340 WEST 10TH ST.
 ANN ARBOR, MICHIGAN 48106
 (313) 961-4000



- NOTES:
1. BEARINGS AS SHOWN ARE RELATED TO THE ESTABLISHED BEARING OF THE WEST LINE OF SECTION 13, T12S, R12E, WAYNE COUNTY MICHIGAN AS RECORDED IN THE PLAT OF ERIEVILLE SQUARE SUBDIVISION, LIBER 94 OF PLATS, PAGE 9B, WAYNE COUNTY RECORDS.
 2. ALL UTILITY EASEMENTS TO BE DEDICATED TO THE CHARTER TOWNSHIP OF CANTON.

LEGEND:
 ■ CONCRETE MONUMENT

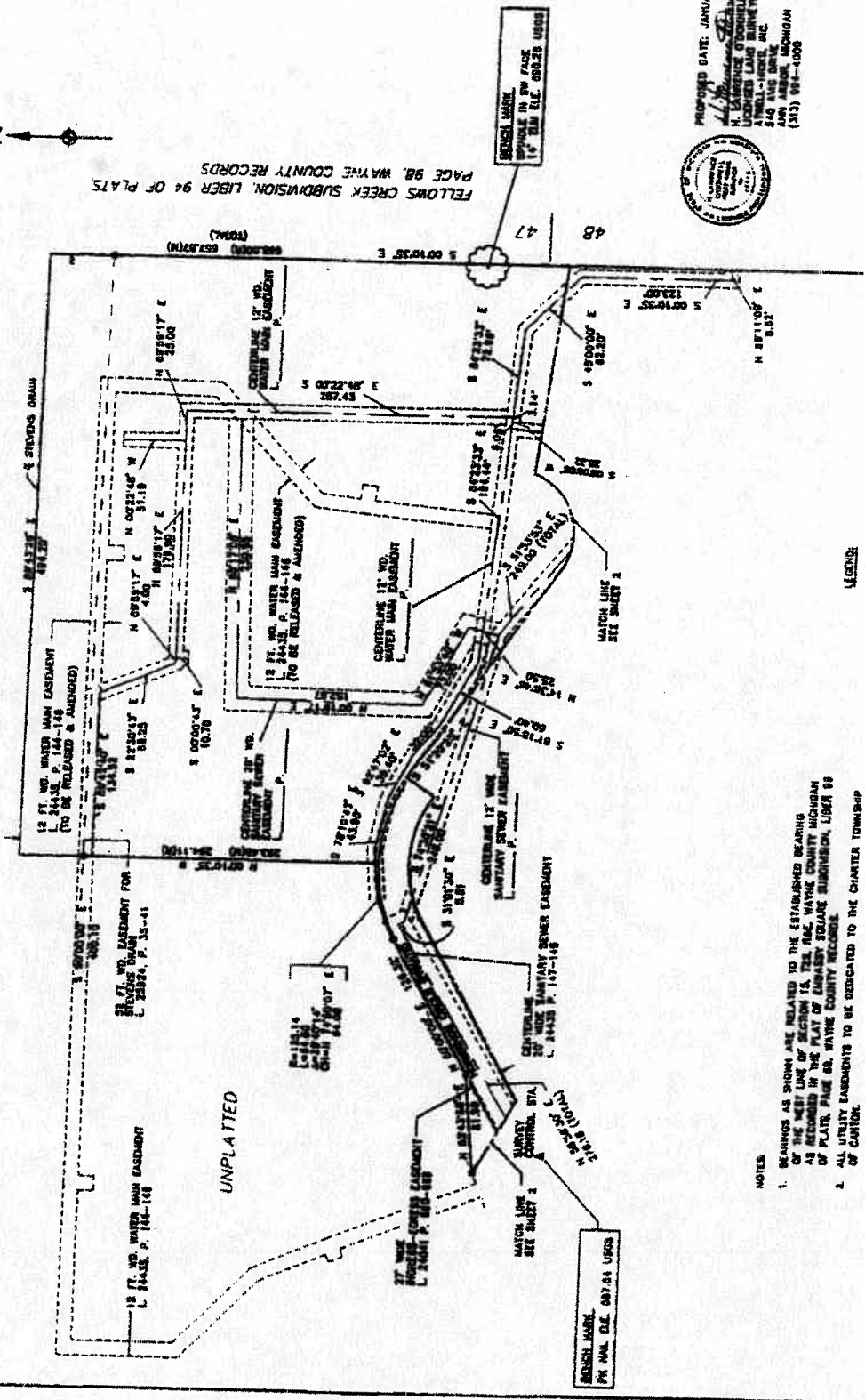
SURVEY PLAN
 CARRIAGE PARK CONDOMINIUM 2/

| | |
|-------------|---------------------------|
| DATE | 1/31/94 |
| BY | K. DUNNICK & COMPANY |
| FOR | ATWELL-HERRICK INC. |
| PROJECT | CARRIAGE PARK CONDOMINIUM |
| LIBER | 94 |
| PAGE | 2 |
| TOWNSHIP | CANTON |
| RANGE | 12E |
| TOWNSHIP | T12S |
| COUNTY | WAYNE |
| STATE | MICHIGAN |
| SCALE | AS SHOWN |
| PROJECT NO. | 143-289-2 |

HEVER'S THIRTY ACRES



FELLOWS CREEK SUBDIVISION, LIBER 94 OF PLATS
PAGE 98, WAYNE COUNTY RECORDS



UNPLATTED

NOTES

1. BEARINGS AS SHOWN ARE RELATED TO THE ESTABLISHED BEARING OF THE WEST LINE OF SECTION 15, T. 36 N., R. 10 W., WAYNE COUNTY HIGHWAY AS RECORDED IN THE PLAT OF LAMAR, SURFACE SUBDIVISION, LIBER 93 OF PLATS, PAGE 88, WAYNE COUNTY RECORDS.
2. ALL UTILITY EASEMENTS TO BE DEDICATED TO THE CHARTER TOWNSHIP OF CANTON.

LEGEND
● CONCRETE MONUMENT



PROPOSED DATE: JANUARY 31, 1984
 JAMES H. STARNELL
 LICENSED SURVEYOR
 LICENSE NO. 28419
 240 MAIN DRIVE
 ANN ARBOR, MICHIGAN 48106
 (313) 961-1000

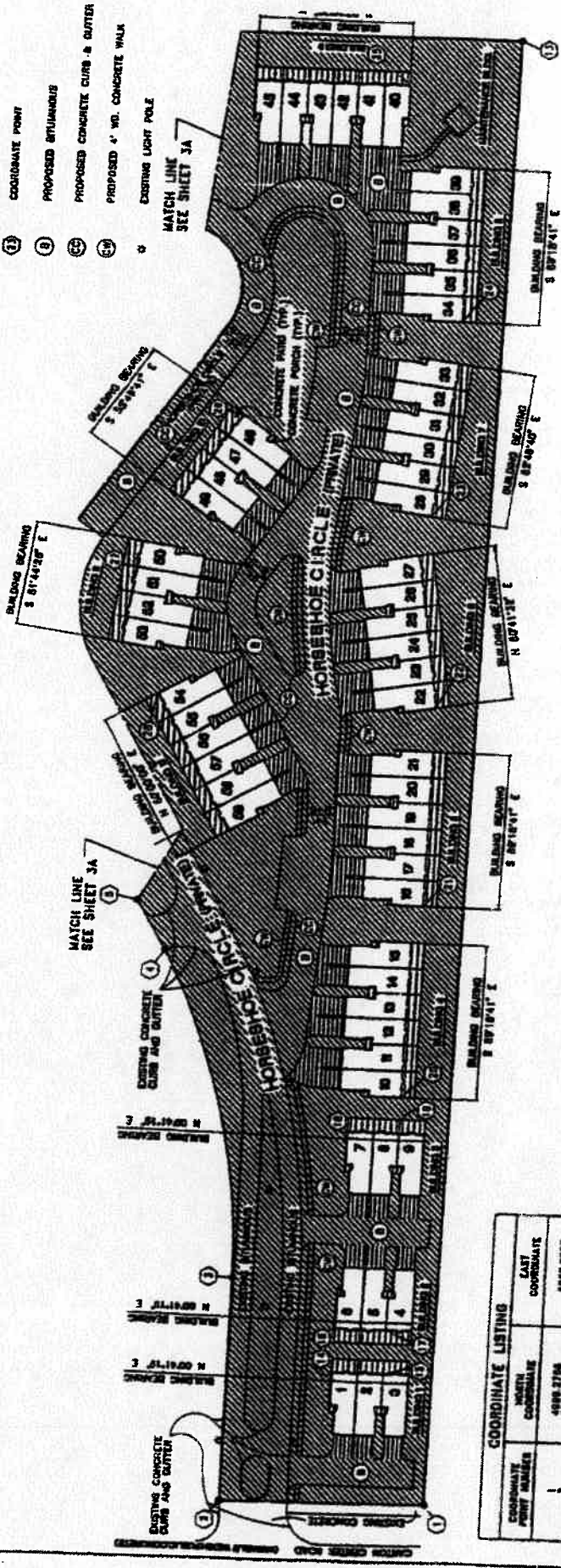
SURVEY PLAN
 CARRIAGE PARK CONDOMINIUM

| | |
|-------------|-------------------|
| DATE | 1/31/84 |
| BY | JAMES H. STARNELL |
| CHECKED BY | JAMES H. STARNELL |
| SCALE | AS SHOWN |
| PROJECT NO. | 110-100-1 |

- NOTES:
1. ALL CONCRETS ARE BITUMINOUS.
 2. ALL STREET IMPROVEMENTS MUST BE SHOWN.
 3. ALL BALANCING NEED NOT BE SHOWN.
 4. ALL CONCRETE WALKS MUST BE SHOWN.



- LEGEND
- CONCRETE JOINTMENT
 - LIMITS OF OWNERSHIP
 - ▨ GENERAL COMMON ELEMENT
 - ▩ LIMITED COMMON ELEMENT
 - ① COORDINATE POINT
 - ② PROPOSED BITUMINOUS
 - ③ PROPOSED CONCRETE CURB & GUTTER
 - ④ PROPOSED 4" WD. CONCRETE WALK
 - ⊙ EXISTING LIGHT POLE



PROPOSED DATE: JANUARY 31, 1984

ALLEN R. GANDY
 PROFESSIONAL ENGINEER NO. 126114
 STATE OF MICHIGAN
 240 AND BUNKER
 ANN ARBOR, MICHIGAN 48106
 (313) 994-6000

| COMPARTMENT POINT NUMBER | NORTH COORDINATE | EAST COORDINATE |
|--------------------------|------------------|-----------------|
| 1 | 4988.875 | 1176.000 |
| 2 | 4988.875 | 1176.000 |
| 3 | 4988.875 | 1176.000 |
| 4 | 4988.875 | 1176.000 |
| 5 | 4988.875 | 1176.000 |
| 6 | 4988.875 | 1176.000 |
| 7 | 4988.875 | 1176.000 |
| 8 | 4988.875 | 1176.000 |
| 9 | 4988.875 | 1176.000 |
| 10 | 4988.875 | 1176.000 |
| 11 | 4988.875 | 1176.000 |
| 12 | 4988.875 | 1176.000 |
| 13 | 4988.875 | 1176.000 |
| 14 | 4988.875 | 1176.000 |
| 15 | 4988.875 | 1176.000 |
| 16 | 4988.875 | 1176.000 |
| 17 | 4988.875 | 1176.000 |
| 18 | 4988.875 | 1176.000 |
| 19 | 4988.875 | 1176.000 |
| 20 | 4988.875 | 1176.000 |
| 21 | 4988.875 | 1176.000 |
| 22 | 4988.875 | 1176.000 |
| 23 | 4988.875 | 1176.000 |
| 24 | 4988.875 | 1176.000 |
| 25 | 4988.875 | 1176.000 |
| 26 | 4988.875 | 1176.000 |
| 27 | 4988.875 | 1176.000 |
| 28 | 4988.875 | 1176.000 |
| 29 | 4988.875 | 1176.000 |
| 30 | 4988.875 | 1176.000 |
| 31 | 4988.875 | 1176.000 |
| 32 | 4988.875 | 1176.000 |
| 33 | 4988.875 | 1176.000 |
| 34 | 4988.875 | 1176.000 |
| 35 | 4988.875 | 1176.000 |
| 36 | 4988.875 | 1176.000 |
| 37 | 4988.875 | 1176.000 |
| 38 | 4988.875 | 1176.000 |
| 39 | 4988.875 | 1176.000 |
| 40 | 4988.875 | 1176.000 |
| 41 | 4988.875 | 1176.000 |
| 42 | 4988.875 | 1176.000 |
| 43 | 4988.875 | 1176.000 |
| 44 | 4988.875 | 1176.000 |
| 45 | 4988.875 | 1176.000 |
| 46 | 4988.875 | 1176.000 |
| 47 | 4988.875 | 1176.000 |
| 48 | 4988.875 | 1176.000 |

SITE PLAN
 CARRIAGE PARK CONDOMINIUM

SECTION 18 (SEE SHEET 3A) 18

DATE: 1/31/84

SCALE: AS SHOWN

PROJECT: CARRIAGE PARK CONDOMINIUM

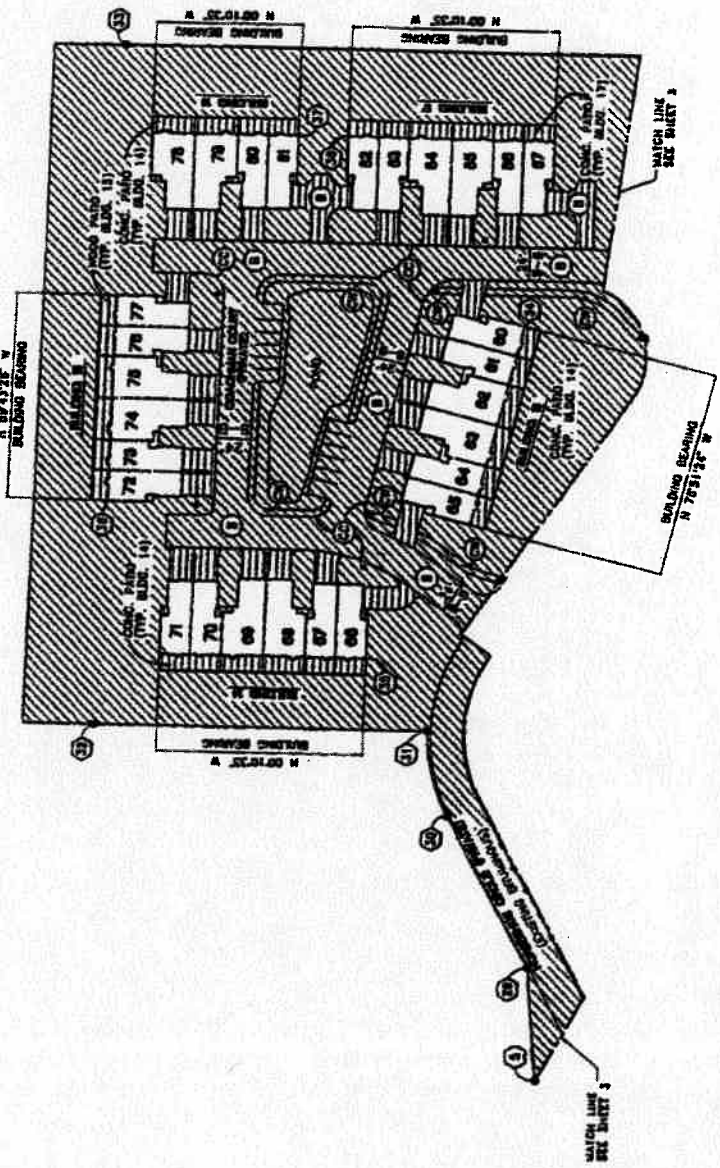
OWNER: [REDACTED]

DESIGNER: ALLEN R. GANDY, P.E.

143-259-



- LEGEND**
- CONCRETE MONUMENT
 - LIMITS OF OWNERSHIP
 - ▨ GENERAL COMMON ELEMENT
 - ▩ LIMITED COMMON ELEMENT
 - COORDINATE POINT
 - PROPOSED RETAINING
 - ▨ PROPOSED CONCRETE CURB & GUTTER
 - ▨ PROPOSED 4" WD. CONCRETE WALK
 - LIGHT POLE



COORDINATE LISTING

| COORDINATE POINT NUMBER | NORTH COORDINATE | EAST COORDINATE |
|-------------------------|------------------|-----------------|
| 8 | 2072.0304 | 2371.8200 |
| 9 | 2282.1909 | 2632.0300 |
| 10 | 2344.1409 | 2792.1183 |
| 11 | 2482.1903 | 3024.2732 |
| 12 | 2482.1903 | 3024.2732 |
| 13 | 2482.1903 | 3024.2732 |
| 14 | 2482.1903 | 3024.2732 |
| 15 | 2482.1903 | 3024.2732 |
| 16 | 2482.1903 | 3024.2732 |
| 17 | 2482.1903 | 3024.2732 |
| 18 | 2482.1903 | 3024.2732 |
| 19 | 2482.1903 | 3024.2732 |
| 20 | 2482.1903 | 3024.2732 |
| 21 | 2482.1903 | 3024.2732 |
| 22 | 2482.1903 | 3024.2732 |
| 23 | 2482.1903 | 3024.2732 |
| 24 | 2482.1903 | 3024.2732 |
| 25 | 2482.1903 | 3024.2732 |
| 26 | 2482.1903 | 3024.2732 |
| 27 | 2482.1903 | 3024.2732 |
| 28 | 2482.1903 | 3024.2732 |
| 29 | 2482.1903 | 3024.2732 |
| 30 | 2482.1903 | 3024.2732 |



PROPOSED DATE: JANUARY 31, 1994

Allen R. Bennett
 ALLEN R. BENNETT
 PROFESSIONAL ENGINEER NO. 12416
 ATWELL-HOCKEY, INC.
 240 AVON DRIVE
 ANN ARBOR, MICHIGAN 48108
 (313) 981-4000

**SITE PLAN
 CARRIAGE PARK CONDOMINIUM** 3/

DATE: JANUARY 31, 1994

SCALE: AS SHOWN

PROJECT NO. 12416

100-308-31

